

**PB# 97-4**

**STEVENSON LUMBER**

**9-1-42.5**

Approved 3/7/97

Planning Board

Town Hall

555 Union Ave.  
New Windsor, N.Y. 12553MADE IN U.S.A.  
© Wilson Jones, 1989DATE February 7, 1997 RECEIPT NUMBER 97-4RECEIVED FROM Stevenson Lumber Co., Inc.Address P.O. Box 123 - Stevenson, CT 06491-0123Seven Hundred - Fifty 00/100 DOLLARS \$750.00FOR Site Plan minimum escrow

ACCOUNT			HOW PAID		
BEGINNING BALANCE	750.00		CASH		
AMOUNT PAID	750.00		CHECK	#1996	
BALANCE DUE	- 0 -		MONEY ORDER		

*for Per 2/7/97*  
 BY Dorothy Hansen, P.B. Secretary

TOWN OF NEW WINDSOR  
 555 Union Avenue  
 New Windsor, NY 12553

**General Receipt**

16122

Feb. 7 1997Received from Stevenson Lumber Co. Inc. \$ 100.00One Hundred 00/100 DOLLARSFor P.B. #97-4

## DISTRIBUTION:

FUND	CODE	AMOUNT
<u>ck # 1397</u>		<u>100.00</u>

By Dorothy H. HansenTown Clerk

TITLE

WILSON JONES LAW BOOK CO., VICTOR, NY 14564

TOWN OF NEW WINDSOR  
 555 Union Avenue  
 New Windsor, NY 12553

**General Receipt**

16164

March 3 1997Received from Del-Lanno General Contractors \$ 100.00One Hundred 00/100 DOLLARSFor P.B. # 97-4

## DISTRIBUTION:

FUND	CODE	AMOUNT
<u>ck # 1214</u>		<u>100.00</u>

By Dorothy H. HansenTown Clerk

WIL

4-WCL THICKER

DATE

3/3/97

RECEIVED

RECEIPT NUMBER 97-4

# General Receipt

TOWN OF NEW WINDSOR  
555 Union Avenue  
New Windsor, NY 12553

16122  
Feb 7 1997

Received from Stevenson Lumber Co. Inc. \$ 100.00

One Hundred 00/100 DOLLARS

For P.B #97-4

DISTRIBUTION:

FUND	CODE	AMOUNT
ck # 1397		100.00

By Dorothy H. Hansen

Town Clerk  
TITLE

WILLIAMSON LAMM BOOK CO., VICTOR, NY 14564

# General Receipt

TOWN OF NEW WINDSOR  
555 Union Avenue  
New Windsor, NY 12553

16164  
March 3 1997

Received from Del-Lanno General Contractors \$ 100.00

One Hundred 00/100 DOLLARS

For P.B # 97-4

DISTRIBUTION:

FUND	CODE	AMOUNT
ck # 1214		100.00

By Dorothy H. Hansen

Town Clerk

WILL

WILLIAMSON JONES • Carbonless • S1642-4NCL Duplicate • S1644-4NCL Triplicate

MADE IN U.S.A.  
© WILLIAMSON, 1990

DATE 3/3/97

RECEIVED FROM Del-Lanno General Contractors

Address 57 North Main Ave. - Whitingham Falls, NY

Thirty 00/100 DOLLARS \$ 30.00

FOR 2% of \$1500.00 Inspection fee

ACCOUNT	HOW PAID
BEGINNING BALANCE	CASH
30.00	
AMOUNT PAID	CHECK
30.00	#1215
BALANCE DUE	MONEY ORDER
-0-	

P. Japple  
BY Theresa Mearns

Eng. 193.00



**McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E.  
WILLIAM J. HAUSER, P.E.  
MARK J. EDSALL, P.E.  
JAMES M. FARR, P.E.

Licensed in NEW YORK, NEW JERSEY  
and PENNSYLVANIA

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507 Broad Street  
Milford, Pennsylvania 18337  
(717) 296-2765  
e-mail: mhepa@ptd.net



3 March 1998

**MEMORANDUM**

**TO:** Michael Babcock, Town Building Inspector

**FROM:** Mark J. Edsall, P.E., Planning Board Engineer

**SUBJECT:** STEVENSON LUMBER SITE PLAN  
SITE COMPLETION REVIEW - 27 FEBRUARY 1998  
NEW WINDSOR PLANNING BOARD NO. 97-4

This memorandum shall confirm our field review on the afternoon of 27 February 1998, at which time we performed a review of the subject site relative to the plan stamped approved by the Planning Board on 7 March 1997.

Several areas of the site have been modified and have relocated or new items from that shown on the plan. Some of these items may be of no significance; however, based on the number of items, as well as the detail of some of the items, we have agreed that this matter should be reviewed with the Planning Board at their next opportunity.

The following observations are noted:

1. The parking spaces in the front right of the new buildings have been installed on the radius of the railroad track siding. This minor change should be of no concern.
2. The owners have installed an outside storage rack system, with materials, in an "L-shape" in front of the new buildings (to the west). This is a fairly significant storage area, not shown on the plan, which I believe should be approved by the Planning Board.
3. The dumpster which was shown at the northeast corner of the property has been relocated and is installed at the northwest corner of the property (in the front). The dumpster is an open, waste type bulk dumpster.

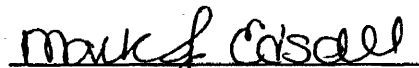
3 March 1998

4. To the rear of the open dumpster, along the northerly property line, an 8,000 gallon diesel fuel tank with containment structure has been installed. This was not on the original plan. As well, this system has no protective bollards. As we discussed, this system should also be reviewed by Fire Inspector Bob Rodgers.

By copy of this memorandum to the Planning Board Secretary, I am requesting that a copy of this memorandum be provided to each of the Planning Board members for their next meeting and this item be listed for discussion at the end of that meeting.

Please contact me if you have any additional comments concerning this site.

Respectfully submitted,



Mark J. Edsall, P.E.  
Planning Board Engineer

MJesh

cc: James Petro, Planning Board Chairman  
Myra Mason, Planning Board Secretary

a:steve3-3.sh

DISCUSSION

STEVENSON LUMBER SITE PLAN (97-4)

MR. EDSALL: I can't fill all the time between now and 8 o'clock. Did everyone get a copy of the memo that Mike and I generated or I generated based on Mike and my review at the Stevenson Lumber site?

MR. LANDER: No, I didn't see that yet.

MR. EDSALL: I will go through the points.

MR. BABCOCK: It should be in their file, everyone should have it.

MR. EDSALL: It's a memo to Mike from me.

MR. PETRO: Why don't you go over it.

MR. EDSALL: It's a memo to Mike. We had a field review on February 27 and reviewed the site based on the plans stamped by the board on March 7, 1997. Normally, we don't come back to you if we see minor changes. This one kind of had more than the usual amount and some that we thought you should be aware of and then you can decide if you want them to come back or accept it as it is. The first one was very minor, they just moved the parking spaces along the right side of the building, shifted them. We had no problem with that. The second one, a change which we thought was more significant in the front of the building, they installed a significant I will call it L-shaped storage rack system where they are storing all types of materials and products and that is not even on the plan at all. So it is not like they made it bigger or just moved it, they just put an L-shaped vertical rack in for storing materials.

MR. PETRO: With footings?

MR. EDSALL: No, just a rack sitting there.

MR. PETRO: It's really mobile.

MR. EDSALL: They could take it all down, but it's an issue only because it's in front of the building. It's now storage of product in front of the building. I don't know if you really care. Neighborhood isn't exactly a residential neighborhood anyway. The next one they had the dumpster in the back left corner, the northeast corner, they have moved it all the way out to the front instead of using a dumpster with an enclosure, they got a 15 yard dumpster, open dumpster and they didn't seem to have any intent to change that, that is the style they want. And at the rear of the dumpster, this is the fourth item they have added an 8,000 gallon diesel fuel tank with a containment structure. One of our concerns it had no bollards protecting it. The issue comes down if you think it's a very commercial area, so I don't know from an anesthetic standpoint if it really matters but on most site plans, you wouldn't want storage out front, dumpsters open out front. But in this area, you may want to take a different view because it's a very industrial type area.

MR. LANDER: Let me ask you this, does it have anything to do with fire safety or anything like that with that storage?

MR. EDSALL: Fuel storage or the other?

MR. LANDER: Lumber storage.

MR. BABCOCK: We don't believe it does, but the fire inspectors will be going down there.

MR. LANDER: They'll take care of the bollards.

MR. BABCOCK: We mentioned it the day we were there and once we sum this up tonight, we're going to go back to give them a C.O. for operation. Actually, they are in operation but they need a C.O. and we're not going to give them a C.O. until we're happy and the fire inspector's office is happy, if we feel, if the fire inspectors feel that the storage in front of buildings can't be there because of access or whatever, they'll have to move it.

MR. PETRO: Some of these tanks that have the self-containment, all right, are rigid steel around them, they might no need bollards. We have one at the Orange Boat place, there's no way you could hit that tank with a truck, I can tell you that. I just don't think we should blanketly (sic.) require them. If it's needed, they'll be installed.

MR. EDSALL: More of a question as to whether or not you believe the changes are a problem or not, we can always coordinate with Bob.

MR. PETRO: Sounds like they are all mobile, if there's no footings on the structure.

MR. BABCOCK: It's the idea when they got their site plan approved, they showed the storage of two by fours and 2 by 6's behind the building. They have grown to be quite some sizable lumber yard compared to what they have done and they needed more room.

MR. EDSALL: I really think if these changes were made on other sites in the town, you'd find it absolutely objectionable because from an aesthetic standpoint, it's not what you want in an area where you are trying to make a good presentation. But this area is surrounded by concrete plants, surrounded by several heavy commercial uses.

MR. ARGENIO: Choose your words carefully.

MR. EDSALL: Very fine concrete plant, but it's just something that we don't like to make leaps on our own, we like to have you folks know what's going on.

MR. PETRO: Does anybody have any problems?

MR. LUCAS: I would kind of like to wait and fall on a the fire inspector.

MR. LANDER: I'd like to see the dumpster where I can't see it from the road.

MR. ARGENIO: Mark is very accurate in everything he said about the place being heavy industrial, but since

subsequent to the reconstruction of Route 32, that whole area is right in bird's eye view of everything, right in the bird's eye view of everything.

MR. PETRO: How about the dumpster off to the side, can you can ask them to do that?

MR. EDSALL: They can screen it some way, put up some kind of a screen so you don't see it from the road.

MR. LANDER: Either they screen it so we can't see it from the road and I don't mean park lumber in front of it, but screen it so we can't see it from the road or the general public can't see it from the road or put in in the back where they have it on the plan.

MR. EDSALL: Do you want to have a record plan prepared?

MR. BABCOCK: I think we should ask them to come back, Mark, I think that everybody has touched on at least three of the four issues and that this planning board approved something that is not there now.

MR. LUCAS: It's not going to hinder their operation either, so just let them, I think it's a good idea, Mike, that we bring them back.

MR. EDSALL: Same application, obviously, I don't want to put them through another application process, just say you have to come back and work it out and have it reapproved with modifications.

MR. BABCOCK: We'll let them know your concerns so they'll come in with a plan that may meet your needs.

MR. LANDER: There's a reason why the dumpster was put in the back, now it's in the front, they didn't have to screen it because it was in the back, if they want to leave it in the front, they have to screen it.

MR. LUCAS: I agree.

MR. PETRO: Ask them to come back on the same application.

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 03/13/97

PAGE: 1

LISTING OF PLANNING BOARD FEES  
ESCROW

FOR PROJECT NUMBER: 97-4

NAME: STEVENSON LUMBER - POST & BEAM STORAGE BUILDING  
APPLICANT: STEVENSON LUMBER

---DATE---	DESCRIPTION-----	TRANS	---AMT-CHG	---AMT-PAID	---BAL-DUE
02/06/97	REC. CK. #1396	PAID		750.00	
02/12/97	P.B. ATTY. FEE	CHG	35.00		
02/12/97	P.B. MINUTES	CHG	72.00		
02/26/97	P.B. ATTY. FEE	CHG	35.00		
02/26/97	P.B. MINUTES	CHG	13.50		
03/13/97	P.B. ENGINEER FEE	CHG	193.00		
03/13/97	RET. TO APPLICANT	CHG	401.50		
		TOTAL:	750.00	750.00	0.00

L.R. 3/13/97

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 03/06/97

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd]  
A [Disap, Appr]

FOR PROJECT NUMBER: 97-4

NAME: STEVENSON LUMBER - POST & BEAM STORAGE BUILDING  
APPLICANT: STEVENSON LUMBER

DATE	MEETING PURPOSE	ACTION TAKEN
03/07/97	PLANS STAMPED	APPROVED
02/26/97	P.B. APPEARANCE	ND: APPROVED
02/20/97	WORK SESSION APPEARANCE	NEXT AGENDA
02/12/97	P.B. APPEARANCE	LA: REVISE & RETURN
02/05/97	WORK SESSION APPEARANCE	SUBMIT PAPERWORK

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 03/06/97

PAGE: 1

LISTING OF PLANNING BOARD SEQRA ACTIONS

FOR PROJECT NUMBER: 97-4

NAME: STEVENSON LUMBER - POST & BEAM STORAGE BUILDING  
APPLICANT: STEVENSON LUMBER

	DATE-SENT	ACTION-----	DATE-RECD	RESPONSE-----
ORIG	02/07/97	EAF SUBMITTED	02/07/97	WITH APPLICATION
ORIG	02/07/97	CIRCULATE TO INVOLVED AGENCIES	/ /	
ORIG	02/07/97	LEAD AGENCY DECLARED	02/12/97	TOOK LEAD AGENCY
ORIG	02/07/97	REQUEST FOR INFORMATION	/ /	
ORIG	02/07/97	DECLARATION (POS/NEG)	02/26/97	DECL. NEG. DEC
	03/05/97	PUBLIC HEARING	/ /	

DATE: February 26, 1997

\* \* \* \* \*

\* NEGATIVE DEC:

\* M) D S) LN VOTE: A 5 N 0

\* CARRIED: YES: ✓ NO

\* \* \* \* \*

WAIVED: YES \_\_\_\_\_ NO \_\_\_\_\_

SEND TO DEPT. OF TRANSPORT: M) S) VOTE: A N YES NO

DISAPP: REFER TO Z.E.A.: M)    S)    VOTE: A    N    YES    NO   

RETURN TO WORK SHOP: YES NO

APPROVAL:

MMUSD VOTE: A 5 N 0 APPROVED: 2-26-97

M) S) VOTE: A N APPR. CONDITIONALLY:

NEED NEW PLANS:      YES                      NO

DISCUSSION/APPROVAL CONDITIONS: \_\_\_\_\_

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# **DEL-LANNO GENERAL CONTRACTERS**

57 N. MESIER AVE WAPPINGERS FALLS N. Y. 12590

## **SITE COST ESTIMATE**

PROPOSAL SUBMITTED TO :  
NAME TOWN OF NEW WINSOR, PLANNING BOARD  
ADDRESS UNION AVE.  
CITY NEW WINSOR N.Y.  
PHONE

WE PROPOSE TO FURNISH THE MATERIALS AND PERFORM THE LABOR  
NECESSARY FOR THE COMPLETION OF;

1. NEW LIGHT POLE
2. TRACTOR TRAILER PARKING SIGN
3. STRIPING FOR 10 PARKING SPACES
4. DRAINAGE, FROM ROOF WATER TO EXSISTING HOLDING POND.
5. For Stevenson Lumber
- 6.
- 7.
- 8.
- 9.
- 10.

ALL MATERIALS GUARANTEED TO BE AS SPECIFIED ,AND THE ABOVE WORK  
TO BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS SUBMITTED  
FOR ABOVE WORK AND COMPLETED IN A SUBSTANTIL WORKMANLIKE MANNER  
FOR THE SUM OF: ONE THOUSAND FIVE HUNDRED  
DOLLARS (\$1,500.00)

RESPECTFULLY SUBMITTED,

DATE, 3-2-97



*Cost estimate on letter head*

SITE PLAN FEES - TOWN OF NEW WINDSOR  
(INCLUDING SPECIAL PERMIT)

APPLICATION FEE:.....\$ 100.00

\*\*\*\*\*

ESCROW:

SITE PLANS (\$750.00 - \$2,000.00).....\$ \_\_\_\_\_

MULTI-FAMILY SITE PLANS:

\_\_\_\_\_ UNITS @ \$100.00 PER UNIT (UP TO 40 UNITS).....\$ \_\_\_\_\_

\_\_\_\_\_ UNITS @ \$25.00 PER UNIT (AFTER 40 UNITS).....\$ \_\_\_\_\_

TOTAL ESCROW PAID:.....\$ \_\_\_\_\_

\*\*\*\*\*

PLAN REVIEW FEE: (EXCEPT MULTI-FAMILY) \$ 100.00 (1)

PLAN REVIEW FEE (MULTI-FAMILY): A. \$100.00  
PLUS \$25.00/UNIT B. \_\_\_\_\_

TOTAL OF A & B: \$ \_\_\_\_\_

RECREATION FEE: (MULTI-FAMILY)

\$500.00 PER UNIT

NUMBER OF UNITS \_\_\_\_\_ @ \$500.00 EA. EQUALS: \$ \_\_\_\_\_

SITE IMPROVEMENT COST ESTIMATE: \$ \_\_\_\_\_

2% OF COST ESTIMATE \$ 1500.00 EQUALS \$ 30.00 (2)

TOTAL ESCROW PAID:.....\$ \_\_\_\_\_

TO BE DEDUCTED FROM ESCROW: \_\_\_\_\_

RETURN TO APPLICANT: \$ \_\_\_\_\_

ADDITIONAL DUE: \$ \_\_\_\_\_

STEVENSON LUMBER SITE PLAN (97-4) ARGENIO DRIVE

Mr. Greg Miron and Mr. Mike DelVesconi appeared before the board for this proposal.

MR. PETRO: Is this old Warehouse building?

MR. MIRON: The Triangle Pacific building is next door. It is the old Warehouse building.

MR. PETRO: What would you like to do?

MR. MIRON: Pardon me?

MR. PETRO: What's the purpose of this?

MR. MIRON: Right now, as proposed first of all we have purchased the Triangle Pacific building and turned it back into a lumberyard which it was 20 years ago which brought somewhere in the neighborhood of 15 new jobs to the New Windsor area. The adjacent property we purchased, okay, and the existing concrete slab that was the old Warehouse building that was either torn down whatever happened to it we don't know, we would like to put up a pole barn structure just to cover sheet goods, that would be sheet rock and plywood. On here, I did see that you wanted to know if it has two floors, no, it's a 20 foot eaves height, and that is how we just stack the material, okay. It's bulk going, it's going to be against the sides and we're going to take it, we have already we built the train site that is pre-existing and we have cars that come in, railroad cars come in and we'll be just taking the storage in. At the present moment, what we do is we store our plywood and sheet goods outside, well, when it gets wet, everybody knows what happens to it.

MR. PETRO: This building is a pole barn building?

MR. MIRON: Yes.

MR. PETRO: Open around the outside or is it covered?

MR. MIRON: Right now, it's going to be covered by the roof, we were thinking of putting Texture 111 on the

outside at this present time that is what we'd like to do.

MR. PETRO: What's the square footage of the new building?

MR. MIRON: 8640.

MR. PETRO: Mike, do you know what I am leading to, 8640 on the square footage, I have a note from the fire inspector.

MR. BABCOCK: I gave them a copy of that just recently.

MR. PETRO: For the rest of the members, the plan at this time is not acceptable, reason for it would be that he wants to have the building sprinklered because it's over the 5,000 square foot, New York State Code, Mike, that is the reason my question about is it really a building, is it enclosed?

MR. MIRON: Whether it's enclosed or it's not enclosed, okay, there's no electricity, no heat, no lavatories no nothing, this is not a personnel building, this is just storage. A sprinkler system will freeze, there's a fire plug within 50 feet of that building, okay, and then also in the front of the Triangle Pacific building there's a fire plug, too.

MR. PETRO: When you're saying he's really falling on deaf ears because it's going to be out of our control, probably go back to--

MR. EDSALL: Just a clarification so I understand the, what the building is, is it two story height with a single floor or actually two floors?

MR. MIRON: No, single story height, single story height, it's 20 feet, no floors on the inside, clear span.

MR. EDSALL: So, it is, cause your plan is calling it out as being a two story post and beam storage barn.

MR. MIRON: In height.

MR. BABCOCK: Should say one story, whether it's a--

MR. EDSALL: You can have a one story building that is a hundred foot high, it's very important because from the code standpoint, that affects the allowable square footage for the fire inspector.

MR. PETRO: So you are telling me it's 4,300 square feet, what's the dimensions?

MR. EDSALL: A hundred and twenty foot by seventy foot which is 8,400 square feet but I don't know where the 8,640 comes from because it doesn't dimension that way, but it is single story, just it's a tall single story?

MR. MIRON: Right, why we call it two story is most are eight foot ceilings.

MR. PETRO: Tell you what we're going to do, we're going to move forward and you can resolve this with the fire inspector either at another workshop or you can call him and explain to him with the building inspector and come to some sort of an agreement. It does not effect us until, it will in the end, we cannot give you an approval unless we have an approval from the fire department, so we will assume that approval will be satisfied by having the sprinkler system or you don't need the sprinkler system.

MR. MIRON: Either way we're going to have to satisfy because we need the storage.

MR. PETRO: We'll table that for now and let them work it out.

MR. LANDER: Mike had a point now Strober King just put one up but it was probably under 5,000 square feet.

MR. BABCOCK: Yes, it was.

MR. LANDER: They had three sides to the building, they are storing their sheet rock underneath this three sided structure, but it was under 5,000 square feet so whether it's three sides or not, you have to get past

the fire inspector.

MR. PETRO: Now the slab is already there, there was a building there at one time?

MR. MIRON: Correct.

MR. PETRO: Now strictly--

MR. LANDER: Are they going to have to, their construction, are they going to have to, these poles are going to be concrete, going to be broken out and the poles will be put in three or four foot depth?

MR. DELVESCONI: Six foot.

MR. LUCAS: Going out to the outside?

MR. DELVESCONI: No, we're staying ten feet in off of the existing foundation that is there so we don't bother any structure that was there, we're going 6 foot cause we don't know what was, whether there's adequate fill that was in there so we're going two foot below frost level, pouring the footing and coming up with sonit tubes from that.

MR. PETRO: Is there blacktop around the site already?

MR. MIRON: Yes.

MR. PETRO: The entire site?

MR. MIRON: I would say at least three quarters of it, there are areas in this back part where they had trailers parked, the old warehouse where they had maybe eight foot wide by 30 foot long areas of grass and this was about it, but the rest of it is blacktopped.

MR. PETRO: The reason I'm asking him that this is strictly going to be a storage barn, we'll call it, it's not going to be any retail out of there, he won't need any handicapped parking, he's not going to need any, he's not going to have bathroom facilities.

MR. BABCOCK: Well there's a parking regulation for the warehouse, each warehouse has to have one per 1,000 square foot of space.

MR. PETRO: Will that need to be shown next to the building?

MR. MIRON: It is.

MR. BABCOCK: Is that parking area that they are showing there that is a paved area?

MR. DELVESCONI: Yes.

MR. PETRO: Are those lines drawn there now as shown on the map?

MR. MIRON: No, I mean we can put them in?

MR. PETRO: No handicapped parking, Mike?

MR. BABCOCK: No, not for a warehouse.

MR. EDSALL: One note on the parking while you're on that they have shown 9 x 19, if the Town Code is amended that can continue but by the time you're ready to get approval, it isn't amended, the parking spaces will have to be changed to 10 x 20, it will be a race to see who's done first.

MR. LUCAS: All this bulk, he's exceeded every one of them.

MR. EDSALL: On the bulk table?

MR. LUCAS: Yes.

MR. EDSALL: In my comments, I note that it needs some correction but I'm letting you know that other than one pre-existing non-conforming situation, they meet the code so there's not a problem, just the table has to be fixed.

MR. DELVESCONI: The reason why I put 9 x 19 down the first workshop we met I heard you say that.

MR. EDSALL: They heard us talking about the change.

MR. LANDER: Where it says overstock, that is where that is, that is lumber, that is not a structure.

MR. MIRON: Correct, just lumber stacked.

MR. LANDER: That is in the entire area in the rear?

MR. MIRON: Correct.

MR. PETRO: He has a fence on the site plan, Mark, the chain link fence existing now, what fence are you mentioning?

MR. EDSALL: I'm just, I'm not telling you what you should or shouldn't do, I'm just reiterating what the code specifically says, so you should discuss with them if the fence that is on the site is at least 6 foot tall and if it is, and you think it's acceptable, fine. If it's less than 6 foot, well, the code says it has to be 6 foot and not more than ten foot.

MR. MIRON: It's an eight foot barbed wire fence all the way around.

MR. EDSALL: As long as the board believes that the existing eight foot fence is acceptable, then they are home free.

MR. LANDER: As long as it's in good shape.

MR. MIRON: It's brand new, we took the Warehouse fence that was up, all right, was rusted and I mean it was not safe for anybody, so we just strung new fence, new barbed wire the whole bit in the location that it was because I mean it was just dangerous, people were passing through or anything of that sort and we also did put a gate, our main gate right here across the tracks, you know, where the existing gates were.

MR. PETRO: Small changes on this plan which you'll be, first one obviously taking the two story off, just make it eight foot existing chain link, add that to the

plan.

MR. MIRON: Yes, we could.

MR. LANDER: Let's go to the existing two story block building, I know it has nothing to do with this, but I see parking 16 spaces is that for the people that would go to this two story block building?

MR. MIRON: No, that is currently because of our right-of-way to our back building that we do have which is the Triangle Pacific building, that is our parking spaces for our employees presently.

MR. PETRO: Existing now?

MR. MIRON: It's existing.

MR. PETRO: Are they existing?

MR. MIRON: No, they are not drawn. When we purchased the land, they were existing.

MR. PETRO: Looks like that is a separate lot, we're not concerning ourselves with that lot, Mark or Andy?

MR. EDSALL: Sixteen spaces, looks like they are on this property, it's just that they are within the right-of-way area.

MR. PETRO: And they are used for the other lot.

MR. EDSALL: I would assume that is not a problem as long as there's an agreement.

MR. PETRO: What about lighting around this building, any lighting and drainage problems, I mean most of it, do one at a time?

MR. MIRON: There's an existing pole in the front of that building, there's no lighting on it at the moment but of course, I would like to have a night light put up there for security reasons.

MR. PETRO: I think you should show a few wall packs on

the building, it's a high building, especially for security, you should have some lighting, somebody comes in there at night, it's late, it's dark, show a couple.

MR. MIRON: I'd rather not have it on the building but, you know, on poles around the building that would be much better.

MR. PETRO: Show us a little bit of lighting. Mike, I don't think we're going to need a lighting detail for storage building?

MR. EDSALL: I don't think we're really not looking at a place where there's shopping pedestrians but I'm curious as to why you wouldn't want them on the building?

MR. MIRON: Then you go back to the aspect of the building is electrified and then that goes back to material stored in a building.

MR. EDSALL: Okay.

MR. MIRON: Where in reality, if we did work passed the dark or whatever, lighting in the yard would be better.

MR. PETRO: That is a good answer.

MR. LANDER: There's a holding pond back there.

MR. DELVESCONI: Yes.

MR. PETRO: The side yard there was it side yard what is going to the south, it says approximate, what's that, I can't read it, 68?

MR. BABCOCK: 68 feet.

MR. PETRO: Side yard you need what, 50 feet Mike?

MR. BABCOCK: No, they only need 15.

MR. PETRO: So, it is not a concern?

MR. BABCOCK: No.

MR. EDSALL: The height that they want to have the building really is what's determining how far back they have to be because the height is based on the nearest lot line setback.

MR. LANDER: As far as the dumpster enclosure, this is a lumber yard, I don't think we have to have a dumpster enclosure per se, you have a dumpster out there probably have a dumpster on this other lot here, too.

MR. MIRON: Yes, we do and we do move them depending on where our garbage is, you know, constantly move it.

MR. LANDER: I don't think we need a dumpster enclosure on this one but I'm only one member.

MR. DUBALDI: I agree.

MR. PETRO: I would agree, too. So let's see also I notice a well on the property, servicing this by well water or town, hooked into the town water?

MR. MIRON: The pre-existing building I believe is on the town, I mean the Triangle Pacific building and this is probably also town because of the fire plug, I'm sorry, they are test wells that is right because of the pre-existing company that was there before.

MR. PETRO: What, environmental test well?

MR. MIRON: Yes.

MR. BABCOCK: Jim, this was the place where they stored the salt.

MR. PETRO: Yes, I remember we did this one time before, I remember that bermed area. Why don't you also make a note of that, are you with these fellas? Make it a test well, also write that on the plan so we know what it is or remove it.

MR. EDSALL: I will just have him call it as a test well so it will call it out.

MR. DUBALDI: I make a motion we declare ourselves lead agency under the SEQRA process.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare itself lead agency under the SEQRA process for Stevenson Lumber site plan. Is there any further discussion from the board members? I have one thing. How close to the City of Newburgh, we're not within that 500 feet?

MR. BABCOCK: No, City of Newburgh is on the other side of Heights.

MR. PETRO: All right, any further discussion? If not, roll call.

ROLL CALL

MR. DUBALDI	AYE
MR. LANDER	AYE
MR. LUCAS	AYE
MR. PETRO	AYE

MR. PETRO: We know about the fire, we have highway approval on 2/10/97, the applicant is going to get back together with the fire inspector and iron out what we had discussed earlier. Once that gets ironed out and we have an approval, I will read it into the minutes. Until that time, we can't take any action.

MR. DUBALDI: What about public hearing Jim?

MR. LUCAS: Well, if he's within all the bulks, how many properties, Town of New Windsor is one, Argenio, within 500 feet, who would be across the street?

MR. MIRON: Gallagher Trucking.

MR. PETRO: Sounds like we don't need a public hearing but why don't we put that off until the next meeting. All right, let's see what the fire inspector has, I don't see that as a problem, that is where it belongs, the slab's already there. So why don't we, you're

going to change the writing on the building one story, working things out with the fire inspector, show a little bit of lighting on drainage you said is already shown here, I see it going out there. One other thing I asked about the eight foot on the chain link fence. Mark, anything else you want to touch on right now?

MR. EDSALL: No, I think--

MR. BABCOCK: The bulk tables have to be corrected.

MR. LUCAS: We're not going to ask them anything about lighting either.

MR. EDSALL: No.

MR. DELVESCONI: Now, all right, could we just run it off the one pole because we're not going to have a layout for the poles right now.

MR. EDSALL: Would you, are you looking to put any night lighting in the back by the stock areas?

MR. MIRON: The main building right now, this has lights on all sides here, the Triangle Pacific building, okay, which we can redirect them into the back stock area and they are, you know, we can put halogens on there instead of the regular flood lights and open that back yard up or we can of course, you know, I can go ahead and put another pole out in the middle of the stock yard and go ahead and add more lighting, I don't have a problem with that.

MR. BABCOCK: One thing you have to remember the reason we're asking these questions once you get this building done, we want to come down and make sure what is on this plan is there, so we need to see pretty much detailed, if you are going to put a light up, we need it shown so we can go there and make sure.

MR. MIRON: Probably be better to put another pole up.

MR. EDSALL: One pole and you can put on directional fixtures, one additional pole I think in the back will solve it.

MR. MIRON: No problem.

MR. PETRO: You're going to have very little site work it seems other than the building itself, the nine spaces that are here looks like the only site work it's going to be, correct me if I am wrong.

MR. BABCOCK: Nine spaces are actually he's stating that it is blacktopped, just needs to be striped.

MR. EDSALL: You have got new blacktop in the back to fill in all the open areas, that's about it.

MR. MIRON: That has all Item 4 on it, we don't need to.

MR. DELVESCONI: That is going to be covered with the storage material.

MR. EDSALL: You're calling out as new blacktop and fill, so you have got to either want to do it or not want to do it.

MR. BABCOCK: Right in the middle.

MR. PETRO: Take the note off or fill it in.

MR. DELVESCONI: I can erase that.

MR. EDSALL: Take it off, I think from a drainage standpoint we're better off not having it.

MR. PETRO: You're going to need a site plan bond for site plan improvements, you have so very little site plan improvements, you might want to stripe that now put existing striping, follow what I am saying, Mark, you know.

MR. EDSALL: No, they have--

MR. PETRO: Just saving you a headache later on, a hundred bucks, get it done and I that is really--what other site plan review?

MR. BABCOCK: Just the striping.

MR. EDSALL: There's very little, you'll have a pole, some striping, that's about it.

MR. PETRO: Follow my point, otherwise you have to get a bond, cash bond.

MR. EDSALL: Only if it is completed by the time you want the C.O.

MR. MIRON: Can I ask a question on time factor?

MR. PETRO: How old are you now?

MR. MIRON: I'm old enough to run the company.

MR. PETRO: You really have very little to do, your big hurdle is to get with Mr. McDonald or Rogers, get that taken care of.

MR. MIRON: If I get that taken care of tomorrow or the next day?

MR. PETRO: If that was clearer tonight, you'd almost be done.

MR. LUCAS: I don't, we're probably going to waive the public hearing, just a few notes on the plan here.

MR. BABCOCK: If you can meet with him this week there should be no reason that you can't on the next agenda for approval.

MR. DELVESCONI: I will go see him tomorrow.

MR. PETRO: We can't do a subject to without the fire inspector.

MR. LUCAS: We'll go through it quickly.

MR. DELVESCONI: When is the next meeting?

MR. PETRO: Two weeks, 26th.

MR. EDSALL: I would suggest you get ahold of Bob tomorrow, if possible, schedule with Myra for the workshop next Thursday and then you'll be ready for the next meeting.

MR. LANDER: This way here everything on here will be what we discussed after the workshop with Mark and as long as the fire inspector is convinced with this building, then I don't see any problem.

MR. DELVESCONI: That is our biggest factor so the sprinkler system.

MR. PETRO: Yeah.

MR. DELVESCONI: Now everything, let's say everything is approved cause I have the final sketches, they are being printed tonight on the building itself, and I have got to hand them in to you, I guess everything goes okay, how far after that can we get the building permit?

MR. PETRO: What happens is you'll get an approval that night obviously the minutes have to come back, you have to pay all the fees, what we can do is do some discretionary judgment with Mr. Babcock, who's usually pretty willing to work with us and give you maybe a foundation, start your sonit tubes and get going.

MR. BABCOCK: One thing you have to keep in mind there's a Town Code that says any building over 5,000 square feet must be sprinklered, okay, and this is a building--

MR. PETRO: State Code.

MR. BABCOCK: This is town, this is a building that is 5,000 square feet, no matter how you look at it, whether it's opened or closed, there's such a thing as a dry system that you can put in that won't freeze, there's an avenue you can go, if you do not want to sprinkler it, there's an appeal process, it's through the board of bureau of fire prevention. That is not going to happen in a week, that is not going to happen in two weeks, probably, so you need to take that step

first, find out about the sprinkler system and you really should talk to the architects to make sure that this complies so that you are not required to do it for State Code because if you are you're going to have to do it--

MR. DELVESCONI: Okay.

MR. MIRON: Can I ask a stupid question?

MR. BABCOCK: Sure.

MR. MIRON: This is my first meeting I have ever gone to, please bear with me. What if I broke this building into two 5,000 square foot buildings with an eight foot aisle up the middle?

MR. BABCOCK: Well, there's a certain fire separation that you have to do, but you need to be less than 5,000.

MR. PETRO: 4999.

MR. MIRON: That is what I am saying, what if I go ahead and do that?

MR. BABCOCK: No problem. This architect will tell you what the two buildings would have to be, how far apart they would have to be to meet the fire code, if there's a certain distance apart, they are considered one building.

MR. MIRON: I haven't measured it, I'm just wondering.

MR. PETRO: City of Newburgh, they had to be five feet apart, that was in the City of Newburgh.

MR. BABCOCK: Even if you put a fire wall in the middle, it's regardless of fire walls, but if you put up two separate buildings and complied with the code for separate and they were under 5,000, you would not need a sprinkler system.

MR. DELVESCONI: Where can I get in touch with him?

MR. BABCOCK: Right next to my office.

MR. LUCAS: Dry system is not, I think you might find that cost wise if you are going to separate this with everything that is going along, dry system really isn't that bad.

MR. MIRON: I don't know the cost of these things and my basis for this building to get it approved by my board was that it was going to be under a certain cost and, you know, if I can bring it in under a certain cost, I can put it up which brings more employees, more people to the area.

MR. LUCAS: That is what we want too.

MR. MIRON: I know, that is what I am saying where if I go now and say well, I need another 20 grand for fire wall, I'm back to the same thing that I was before, they were saying no, keep using tarps and then I get back to the other thing is why the, why is the material not tarped, because I can't afford enough tarps or they rip or whatever happens. Just asking the questions.

MR. LUCAS: Separating or, you know, you can get a dry system quickly, I think.

MR. PETRO: I think we have went as far as you can go.

MR. MIRON: Just got to ask. Thank you.

REGULAR ITEMS:

STEVENSON LUMBER SITE PLAN (97-4) ARGENIO ROAD

Mr. Mike Delvescovi and Mr. Greg Miron appeared before the board for this proposal.

MR. PETRO: Just had to add some things to the map?

MR. MIRON: What we went ahead and did based on the fact that the fire code states that buildings over 4,000 square feet must need a fire system, that we went ahead and asked the fire inspector what we can do about that and he said well, if you took the building, remember I think at the last meeting we had, I said if we took the building and broke it in half, would you have a problem with that 4,000 square foot each building, and you said no. So I, so what I did is I went ahead and took that one large building, split it in half so that means I have two buildings and 4,000 square feet which is under the State Code which is under New Windsor code for the fire system. They are 50 feet apart, okay, which is also the code for the type of material that is stored in them and everything else as far as our new lighting fixtures which you asked for, we went ahead and put new low lighting fixtures in. The abandoned wells for testing you asked us to mark them as abandoned wells and we went ahead and did that and also to mark that it's an existing eight foot high chain link fence around the property. And those were the things that you were interested in changing.

MR. PETRO: Also the lighting we had to discuss the lighting a little bit, I see that you put new light pole with fixture type per building department approval.

MR. LUCAS: I went down and looked at it and it's in a good location, doesn't restrict view from anybody and it doesn't even restrict your view from the front of this and they have done a nice job, it's really clean the site and I think it would enhance the site.

MR. PETRO: We have fire approval and 2/25/97, I have a

new letter here stating that with the separation designed that it is acceptable to the New Windsor Fire Department and we have it approved. We also have highway approval on 2/24/97.

MR. DUBALDI: Wish to make a motion that we declare negative dec under the SEQRA process.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare negative dec under the SEQRA process for Stevenson Lumber off Ruscutti Road.

ROLL CALL

MR. DUBALDI	AYE
MR. STENT	AYE
MR. LUCAS	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. PETRO: I don't think there's anything left than whatever is on your mind.

MR. LUCAS: I will make a motion we approve.

MR. EDSALL: As far as I know, everything's fine.

MR. LUCAS: Make a motion we approve the site plan for the Stevenson Lumber storage building.

MR. DUBALDI: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board grant final approval to the Stevenson Lumber site plan off of Ruscutti Road. Is there any further discussion from any of the board members? How about a flag pole? This sits pretty far back off the road, right? We can suggest.

MR. DUBALDI: You said we can't do that anymore.

MR. PETRO: We can suggest it. Motion has been made

February 26, 1997

9

and seconded. If any there's no other further discussion, roll call.

ROLL CALL

MR. DUBALDI	AYE
MR. STENT	AYE
MR. LUCAS	AYE
MR. LANDER	AYE
MR. PETRO	AYE

RESULTS OF P.B. MEETING

DATE: February 12, 1997

PROJECT NAME: Stevenson Lumber PROJECT NUMBER 97-4

\* \* \* \* \*

LEAD AGENCY:

\* NEGATIVE DEC:

M) 0 S) 11 VOTE: A 4 N 0

\* M)    S)    VOTE: A    N   

CARRIED: YES ✓ NO   

\* CARRIED: YES:    NO   

\* \* \* \* \*

PUBLIC HEARING: M)    S)    VOTE: A    N   

WAIVED: YES    NO   

SEND TO OR. CO. PLANNING: M)    S)    VOTE: A    N    YES    NO   

SEND TO DEPT. OF TRANSPORT: M)    S)    VOTE: A    N    YES    NO   

DISAPP: REFER TO Z.B.A.: M)    S)    VOTE: A    N    YES    NO   

RETURN TO WORK SHOP: YES    NO   

APPROVAL:

M)    S)    VOTE: A    N    APPROVED:   

M)    S)    VOTE: A    N    APPR. CONDITIONALLY:   

NEED NEW PLANS: YES    NO   

DISCUSSION/APPROVAL CONDITIONS:   

Plan should say "single story"

Work out problems with Fire Inspector

Bulk tables need corrections

Change fence height to 8' on plan

Show lighting on the plan

Test well should be shown on plan

Return to Work Shop

No Cost Estimate Due



**McGOEY, HAUSER and EDSALL**  
**CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E.  
WILLIAM J. HAUSER, P.E.  
MARK J. EDSALL, P.E.  
JAMES M. FARR, P.E.

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**TOWN OF NEW WINDSOR**  
**PLANNING BOARD**  
**REVIEW COMMENTS**

**REVIEW NAME:** STEVENSON LUMBER SITE PLAN  
**PROJECT LOCATION:** OFF RUSCITTI ROAD  
SECTION 9-BLOCK 1-LOT 42.5  
**PROJECT NUMBER:** 97-4  
**DATE:** 12 FEBRUARY 1997  
**DESCRIPTION:** THE APPLICATION PROPOSES THE CONSTRUCTION OF A TWO-STORY STORAGE BARN, APPROXIMATELY 120' X 70' IN DIMENSION. THE PLAN WAS REVIEWED ON A CONCEPT BASIS ONLY.

1. The property is located within the Planned Industrial (PI) Zoning District of the Town. Based on the information provided to me at the Work Session, it is my belief that this use is Use A-17 of the Use Regulations. Based on same, it would appear that corrections are necessary to the bulk table. The Board should be advised, however, that the site appears to comply with all the bulk requirements, with the exception of lot width, which is a pre-existing non-conforming condition for this existing lot.
2. The parking calculation would appear to be based on a single-story building. The plan calls for a two-story building. Does this mean it is of two-story height or has two floors? This should be clarified on the plan.

If the building has two floors, the parking calculation is incorrect and should be adjusted on the resubmitted plan.

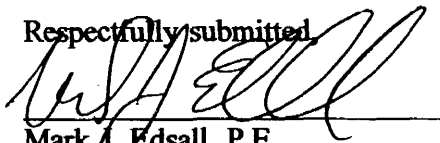
3. The plan would appear to depict outside storage of materials on the east (rear) and north (side) of the building. This is permitted for the A-17 use, however, the Code requires that any outdoor storage should be surrounded by a fence or wall with a height not less than 6', nor more than 10', for screening purposes. This should be discussed with the Applicant.
4. The Board should inquire as to whether this storage building has lavatory facilities. The plan, as currently submitted, does not depict any utility connections.

**TOWN OF NEW WINDSOR  
PLANNING BOARD  
REVIEW COMMENTS  
PAGE 2**

**REVIEW NAME:** STEVENSON LUMBER SITE PLAN  
**PROJECT LOCATION:** OFF RUSCITTI ROAD  
SECTION 9-BLOCK 1-LOT 42.5  
**PROJECT NUMBER:** 97-4  
**DATE:** 12 FEBRUARY 1997

5. The Applicant was requested to depict, on the plan, the Deed reference for the right-of-way access to the property. This information does not appear to have been provided.
6. The Applicant was requested to provide full data with regard to the property and Applicant on the plan. This has not been provided.
7. The Board should discuss the dumpster location and determine if an enclosure is required.
8. It is my understanding that the Fire Inspector has performed a review of the site plan as submitted and has some comments and questions regarding the need for a building sprinkler system and a possible need for an additional hydrant for the site. The Applicant should discuss this with the Fire Inspector at the next Work Session.
9. The Planning Board may wish to assume the position of **Lead Agency** under the SEQRA process.
10. The Planning Board should determine, for the record, if a **Public Hearing** will be necessary for his **Site Plan**, per its discretionary judgement under Paragraph 48-19.C of the Town Zoning Local Law.
11. At such time that the Planning Board has made further review of this application, **further engineering reviews** and comments will be made, as deemed necessary by the Board.

Respectfully submitted,

  
Mark J. Edsall, P.E.  
Planning Board Engineer

MJEmk

A:STEVENs.mk



# TOWN OF NEW WINDSOR

555 UNION AVENUE  
NEW WINDSOR, NEW YORK 12553

## NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: 97 - 4

DATE PLAN RECEIVED: RECEIVED FEB 21 1997

The maps and plans for the Site Approval ☒

Subdivision \_\_\_\_\_ as submitted by

\_\_\_\_\_ for the building or subdivision of

\_\_\_\_\_ has been

reviewed by me and is approved ☒

disapproved ☐

If disapproved, please list reason \_\_\_\_\_

RECEIVED

FEB 24 1997

N.W. HIGHWAY DEPT

*W. James Sullivan* 2/24/97  
HIGHWAY SUPERINTENDENT DATE

\_\_\_\_\_  
WATER SUPERINTENDENT DATE

\_\_\_\_\_  
SANITARY SUPERINTENDENT DATE



1763

# TOWN OF NEW WINDSOR

555 UNION AVENUE  
NEW WINDSOR, NEW YORK 12553

## NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: 97 - 4

DATE PLAN RECEIVED: RECEIVED FEB 21 1997

The maps and plans for the Site Approval \_\_\_\_\_

Subdivision \_\_\_\_\_ as submitted by \_\_\_\_\_

\_\_\_\_\_ for the building or subdivision of \_\_\_\_\_

Post & Beam Storage bldg. - Stevenson Lumber has been  
reviewed by me and is approved L

disapproved \_\_\_\_\_

If disapproved, please list reason \_\_\_\_\_

Old bldg. is on town water.

Notify water dept. if same water is to be used.

HIGHWAY SUPERINTENDENT \_\_\_\_\_ DATE \_\_\_\_\_

Steve D. D. - Amw. 2-24-97  
WATER SUPERINTENDENT \_\_\_\_\_ DATE \_\_\_\_\_

SANITARY SUPERINTENDENT \_\_\_\_\_ DATE \_\_\_\_\_

# MEMO

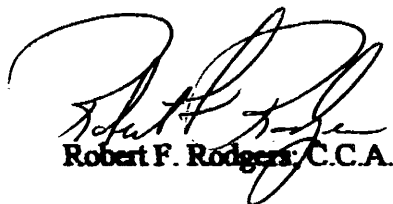
To: Town Planning Board  
From: Town Fire Inspector  
Subject: Stevenson Lumber  
Date: 25 February 1997

Planning Board Reference Number: PB-97-4  
Dated: 21 February 1997  
Fire Prevention Reference Number: FPS-97-009

A review of the above referenced subject site plan was conducted on 21 February 1997.

This site plan is approved.

Plans Dated: 20 February 1997 Revision 2



Robert F. Rodgers, C.C.A.

RFR/dh



McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS P.C.

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PLANNING BOARD WORK SESSION  
RECORD OF APPEARANCE

TOWN/VILLAGE OF NEW WINDSOR

P/B #

97-4

WORK SESSION DATE: 20 FEB 97

APPLICANT RESUB.  
REQUIRED:

Revised Plans

REAPPEARANCE AT W/S REQUESTED: No

PROJECT NAME: Stevensen Under

PROJECT STATUS: NEW \_\_\_\_\_ OLD X

REPRESENTATIVE PRESENT: \_\_\_\_\_

MUNIC REPS PRESENT: BLDG INSP. arc

FIRE INSP. X

ENGINEER X

PLANNER \_\_\_\_\_

P/B CHMN. \_\_\_\_\_

OTHER (Specify) \_\_\_\_\_

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

everything OK - except  
need to fix bulk table  
will submit for next meeting

X

4MJE91 pbwsform

# MEMO

To: New Windsor Planning Board

From: Town Fire Inspector

Subject: Stevenson Lumber

Date: 12 February 1997

Planning Board Reference Number: PB-97-4

Dated: 6 February 1997

Fire Prevention Reference Number: FPS-97-006

A review of the above referenced subject site plan was conducted on 12 February 1997, with the following being noted.

- 1) The New York State Uniform Fire Prevention and Building Code requires that the building be type 5A construction. As such, a sprinkler system will be needed. I would suggest this be returned to the workshop for further discussion, due to the various options which are available.

The plan at this time is not acceptable.

Plans Dated: 4 February 1997.

*R.F. Rodgers (d.h.)*

Robert F. Rodgers, C.C.A.  
Fire Inspector

RFR/dh



1763

# TOWN OF NEW WINDSOR

555 UNION AVENUE  
NEW WINDSOR, NEW YORK 12553

## NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

RECEIVED

FEB 07 1997

N.W. HIGHWAY DEPT.

PLANNING BOARD FILE NUMBER: 97 - 4

DATE PLAN RECEIVED: RECEIVED FEB 6 1997

The maps and plans for the Site Approval ✓

Subdivision \_\_\_\_\_ as submitted by

\_\_\_\_\_ for the building or subdivision of

\_\_\_\_\_ has been

reviewed by me and is approved ✓

disapproved \_\_\_\_\_

If disapproved, please list reason \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

W. James Sullivan  
HIGHWAY SUPERINTENDENT

2/10/97  
DATE

\_\_\_\_\_  
WATER SUPERINTENDENT

\_\_\_\_\_  
DATE

\_\_\_\_\_  
SANITARY SUPERINTENDENT

\_\_\_\_\_  
DATE



McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.  
WILLIAM J. HAUSER, P.E.  
MARK J. EDSALL, P.E.

STEVENSON LUMBER

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PLANNING BOARD WORK SESSION  
RECORD OF APPEARANCE

1-3

TOWN/VILLAGE OF New Windsor

P/B # 97 - 4

WORK SESSION DATE: 5 Feb 97

APPLICANT RESUB.  
REQUIRED: Will App.

REAPPEARANCE AT W/S REQUESTED: Not now

PROJECT NAME: Stevenson Lumber, Nbg Inc

PROJECT STATUS: NEW X OLD       

REPRESENTATIVE PRESENT:       

MUNIC REPS PRESENT: BLDG INSP. Somewhere  
FIRE INSP. X  
ENGINEER X  
PLANNER         
P/B CHMN.         
OTHER (Specify)       

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

add duplts  
bulk table  
Site designation  
area map  
App data

min escrow

next week's  
mtg agenda

4MJ91 pbowform



## TOWN OF NEW WINDSOR

555 UNION AVENUE  
NEW WINDSOR, NEW YORK 12553

"XX"

APPLICATION TO:  
TOWN OF NEW WINDSOR PLANNING BOARD

17 TYPE OF APPLICATION (check appropriate item):

Subdivision \_\_\_\_\_ Lot Line Chg. \_\_\_\_\_ Site Plan ☒ Spec. Permit \_\_\_\_\_

1. Name of Project Post-Beam Storage Bldg.
2. Name of Applicant Stevenson Lumber Phone 568 0078  
Address 42 ARGENIO DRIVE New Windsor NY. 12553  
(Street No. & Name) (Post Office) (State) (zip)
3. Owner of Record Same as Applicant Phone \_\_\_\_\_  
Address \_\_\_\_\_  
(Street No. & Name) (Post Office) (State) (zip)
4. Person Preparing Plan PARRA & DI FATO ARCHITECTS  
Address 65 Plain Ave. New Rochelle NY.  
(Street No. & Name) (Post Office) (State) (zip)
5. Attorney \_\_\_\_\_ Phone \_\_\_\_\_  
Address \_\_\_\_\_  
(Street No. & Name) (Post Office) (State) (zip)
6. Person to be notified to represent applicant at Planning Board Meeting MICHAEL DEL VESCOVI Phone 298-7368  
(Name)
7. Project Location: On the West side of ARGENIO DRIVE  
APP. 200' feet West of ARGENIO DRIVE  
(direction) (street)
8. Project Data: Acreage of Parcel 5.3 Zone PI  
School Dist. Newburgh
9. Is this property within an Agricultural District containing a farm operation or within 500 feet of a farm operation located in an Agricultural District? Y \_\_\_\_\_ N ☒

If you answer "yes" to question 9, please complete the attached Agricultural Data Statement.

10. Tax Map Designation: Section 9 Block 1 Lot 42.5

11. General Description of Project: STORAGE WAREHOUSE  
FOR BUILDING MATERIALS

12. Has the Zoning Board of Appeals granted any variances for this property? yes no.

13. Has a Special Permit previously been granted for this property? yes no.

ACKNOWLEDGEMENT:

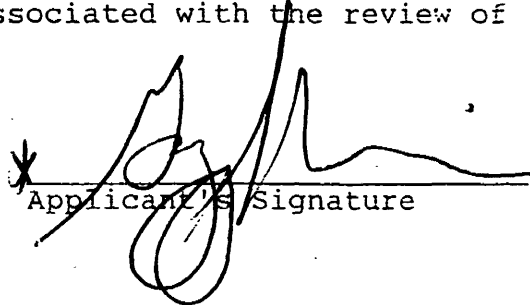
If this acknowledgement is completed by anyone other than the property owner, a separate notarized statement from the owner must be submitted, authorizing this application.

STATE OF NEW YORK)  
SS.:  
COUNTY OF ORANGE)

The undersigned Applicant, being duly sworn, deposes and states that the information, statements and representations contained in this application and supporting documents and drawings are true and accurate to the best of his/her knowledge and/or belief. The applicant further acknowledges responsibility to the Town for all fees and costs associated with the review of this application.

Sworn before me this

6<sup>th</sup> day of Feb. 1997

  
Applicant's Signature



Notary Public  
LOU ANNE NICOLATO  
Notary Public, State of New York  
Registration No. 01N15017941  
Qualified in Ulster County  
Commission Expires Sept. 13, 1997

\*\*\*\*\*  
TOWN USE ONLY:

RECEIVED FEB 6 1997

Date Application Received

97 - 4

Application Number

"XX"

APPLICANT'S PROXY STATEMENT  
(for professional representation)

for submittal to the

TOWN OF NEW WINDSOR PLANNING BOARD

Stevenson Lumber, deposes and says that he  
(Applicant)

resides at 42 ARGENIO DR New Windsor  
(Applicant's Address)

in the County of ORANGE

and State of New York

and that he is the applicant for the Construction of  
Pole BARN/warehouse for material storage  
(Project Name and Description)

which is the premises described in the foregoing application and

that he has authorized Michael DeViscovi  
(Professional Representative)

to make the foregoing application as described therein.

Date: 2/6/97

[Signature]  
(Owner's Signature)  
[Signature]  
(Witness Signature)

LOU ANNE NICOLATO  
Notary Public, State of New York  
Registration No. 01015017941  
Qualified in Ulster County  
Commission Expires Sept. 13, 1997

THIS FORM CANNOT BE WITNESSED BY THE PERSON OR REPRESENTATIVE OF  
THE COMPANY WHO IS BEING AUTHORIZED TO REPRESENT THE APPLICANT  
AND/OR OWNER AT THE MEETINGS.

EVERYTHING CIRCLED  
I need

97-4

# checklist

If applicable "XX"

## TOWN OF NEW WINDSOR PLANNING BOARD SITE PLAN CHECKLIST

Area ~~map~~ Bulk Label

### ITEM

1. ☒ Site Plan Title
2. ☐ Applicant's Name(s) ☒
3. ☐ Applicant's Address(es) ☒
4. ☒ Site Plan Preparer's Name
5. ☒ Site Plan Preparer's Address
6. ☒ Drawing Date
7. ☐ Revision Dates
8. ☒ Area Map Inset ☒
9. ☒ Site Designation ☒ Sect. Lot Block
10. ☒ Properties Within 500' of Site
11. ☐ Property Owners (Item #10)
12. ☐ Plot Plan
13. ☒ Scale (1" = 50' or lesser)
14. ☒ Metes and Bounds
15. ☒ Zoning Designation ☒
16. ☒ North Arrow
17. ☒ Abutting Property Owners
18. ☒ Existing Building Locations
19. ☒ Existing Paved Areas
20. ☒ Existing Vegetation
21. ☒ Existing Access & Egress
22. ☐ Landscaping
23. ☐ Exterior Lighting
24. ☐ Screening
25. ☐ Access & Egress
26. ☐ Parking Areas
27. ☐ Loading Areas
28. ☐ Paving Details  
(Items 25-27)
29. ☒ Curbing Locations
30. ☒ Curbing Through Section
31. ☒ Catch Basin Locations
32. ☒ Catch Basin Through Section ☒ EXISTING
33. ☐ Storm Drainage
34. ☒ Refuse Storage ☒
35. ☒ Other Outdoor Storage
36. ☒ Water Supply ☒ EXISTING
37. ☒ Sanitary Disposal System ☒ EXISTING
38. ☐ Fire Hydrants
39. ☒ Building Locations
40. ☒ Building Setbacks
41. ☐ Front Building Elevations
42. ☐ Divisions of Occupancy
43. ☒ Sign Details ☒ EXISTING
44. ☒ Bulk Table Inset ☒ incl. parking calc.
45. ☐ Property Area (Nearest 100 sq. ft.)
46. ☐ Building Coverage (sq. ft.)
47. ☐ Building Coverage (% of Total Area)
48. ☐ Pavement Coverage (sq. ft.)
49. ☐ Pavement Coverage (% of Total Area)
50. ☐ Open Space (sq. ft.)
51. ☐ Open Space (% of Total Area)
52. ☒ No. of Parking Spaces Prop.
53. ☒ No. of Parking Spaces Req.

Sec 9

BLK 1

LOT 452

REFERRING TO QUESTION 9 ON THE APPLICATION FORM, "IS THIS PROPERTY WITHIN AN AGRICULTURAL DISTRICT CONTAINING A FARM OPERATION OR WITHIN 500 FEET OF A FARM OPERATION LOCATED IN AN AGRICULTURAL DISTRICT, PLEASE NOTE THE FOLLOWING:

54. \_\_\_\_\_ Referral to Orange County Planning Dept. required for all applicants filing AD Statement.
55. \_\_\_\_\_ A Disclosure Statement, in the form set below must be inscribed on all site plan maps prior to the affixing of a stamp of approval, whether or not the Planning Board specifically requires such a statement as a condition of approval.

"Prior to the sale, lease, purchase, or exchange of property on this site which is wholly or partially within or immediately adjacent to or within 500 feet of a farm operation, the purchaser or leasor shall be notified of such farm operation with a copy of the following notification.

It is the policy of this State and this community to conserve, protect and encourage the development and improvement of agricultural land for the production of food, and other products, and also for its natural and ecological value. This notice is to inform prospective residents that the property they are about to acquire lies partially or wholly within an agricultural district or within 500 feet of such a district and that farming activities occur within the district. Such farming activities may include, but not be limited to, activities that cause noise, dust and odors."

This list is provided as a guide only and is for the convenience of the applicant. the Town of Ne Windsor Planning Board may require additional notes or revisions prior to granting approval.

PREPARER'S ACKNOWLEDGEMENT:

The Site Plan has been prepared in accordance with the checklist and the Town of New Windsor Ordinances, to the best of my knowledge

By: \_\_\_\_\_

Licensed Professional

Date: \_\_\_\_\_

4 FEB 97

PROJECT I.D. NUMBER

617.21

Appendix C

State Environmental Quality Review

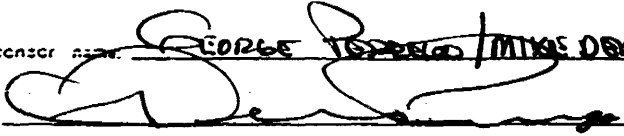
## SHORT ENVIRONMENTAL ASSESSMENT FORM

For UNLISTED ACTIONS Only

97-4

SEQR

## PART I—PROJECT INFORMATION (To be completed by Applicant or Project sponsor)

1. APPLICANT /SPONSOR <b>STEVENSON LUMBER CORP</b>	2. PROJECT NAME <b>STORAGE BUILDING LUMBER</b>
3. PROJECT LOCATION: Municipality <b>TOWN OF NEW WINDSOR</b> County <b>ORANGE</b>	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map)	
5. IS PROPOSED ACTION: <input type="checkbox"/> New <input type="checkbox"/> Expansion <input type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: <b>POLE BUILDING - BULK LUMBER DRYWALL STORAGE - HOLDING AREA - RAIL ACCESS - EXISTING CONCRETE PAD - FORMER SITE OF BUILDING (PREVIOUS) - OPEN STORAGE SAME EXISTING</b>	
7. AMOUNT OF LAND AFFECTED: Initially <b>1.00</b> acres Ultimately <b>1.00</b> acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, list agency(s) and permit/approvals <b>TOWN OF NEW WINDSOR BUILDING DEPT</b>	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency name and permit/approval	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/sponsor name: <b>GEORGE J. STEVENSON / MIKE DRUSKOWSKI</b> CONTRACTOR Date: <b>1-31-97</b>	
Signature: 	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

OVER

PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 8 NYCRR, PART 817.12? If yes, coordinate the review process and use the FULL EAF.  
☐ Yes ☒ No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 8 NYCRR, PART 817.87 If No, a negative declaration may be superseded by another involved agency.  
☐ Yes ☒ No

C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:  
**NONE AFFECTED**

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:  
**NONE AFFECTED**

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:  
**NONE AFFECTED**

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:  
**NONE**

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:  
**NONE**

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:  
**NONE**

C7. Other Impacts (including changes in use of either quantity or type of energy)? Explain briefly:  
**NONE**

D. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?  
☐ Yes ☒ No If Yes, explain briefly

PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately assessed.

- ☐ Check this box if you have identified one or more potentially large or significant adverse impacts which MAY occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.
- ☒ Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action WILL NOT result in any significant adverse environmental impacts AND provide on attachments as necessary, the reasons supporting this determination:

Name of Lead Agency

**X**

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)

1-31-97

## ATTACHMENTS

A. Flood Hazard Area Development Permit Application Form.

B. Certificate of Compliance ☒

PLEASE NOTE: IF PROPERTY IS NOT IN A FLOOD ZONE, PLEASE INDICATE THAT ON THIS FORM AND SIGN YOUR NAME. RETURN FORM WITH PLANNING BOARD APPLICATION.

IF PROPERTY IS LOCATED IN A FLOOD ZONE, PLEASE COMPLETE THE ATTACHED (LEGAL SIZE) PAPERS AND RETURN WITH PLANNING BOARD APPLICATION.

: Not in flood zone: I verify That  
it is not in a flood zone.  
Michael Del Vecchio



